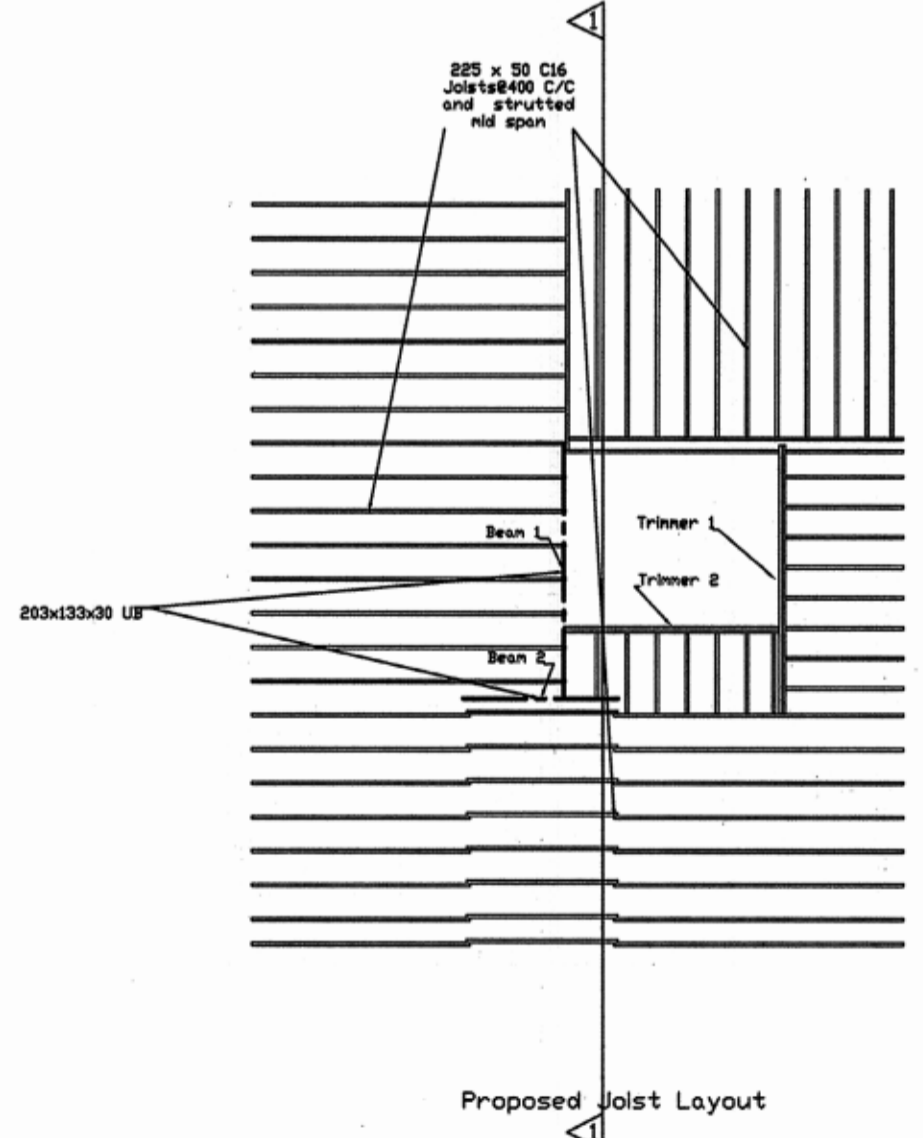
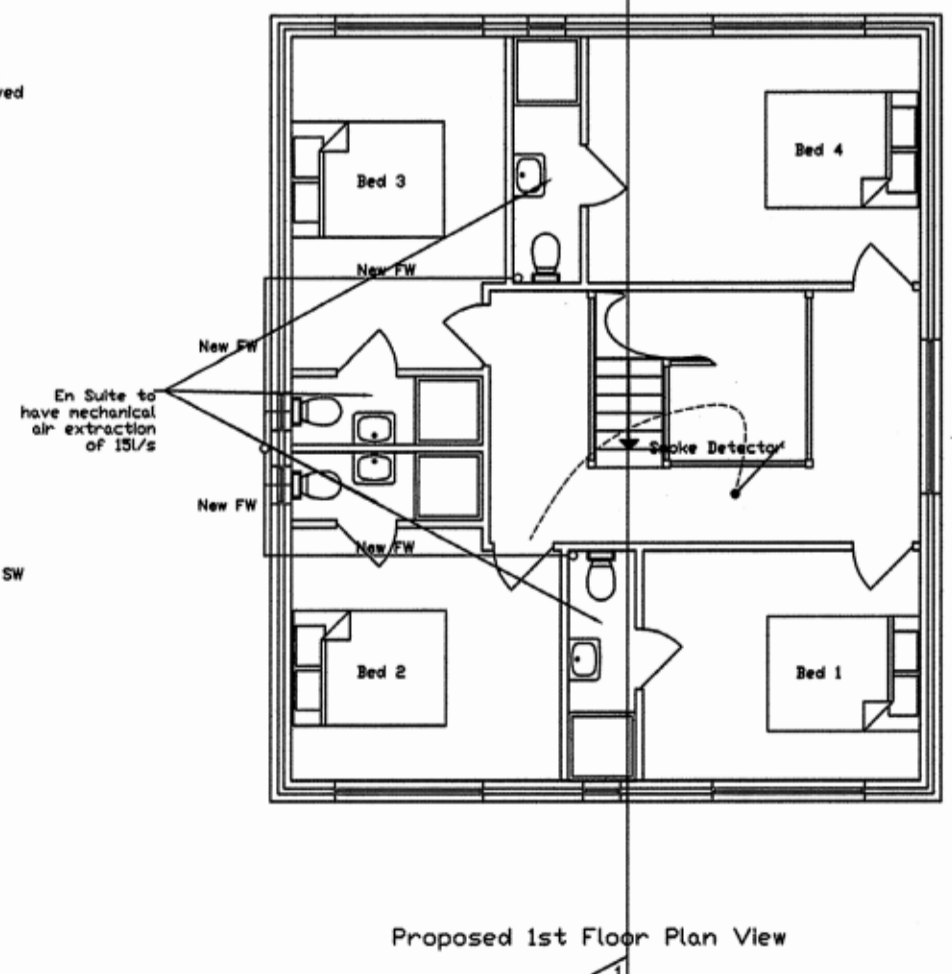
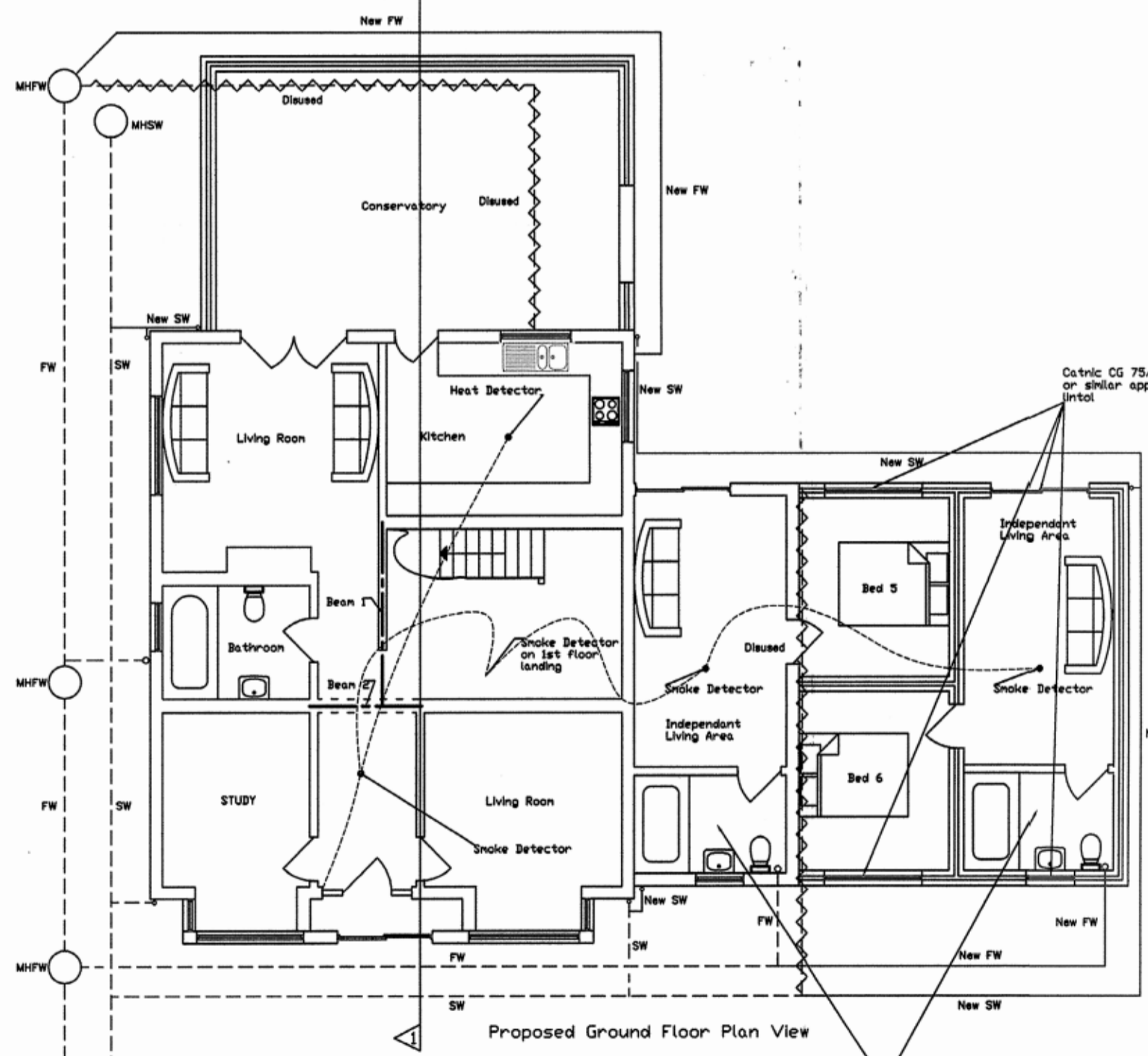
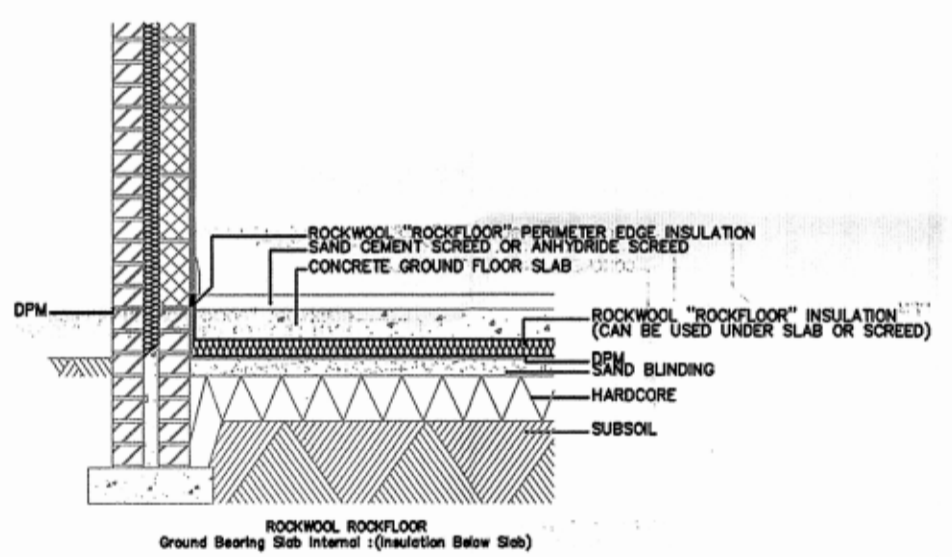
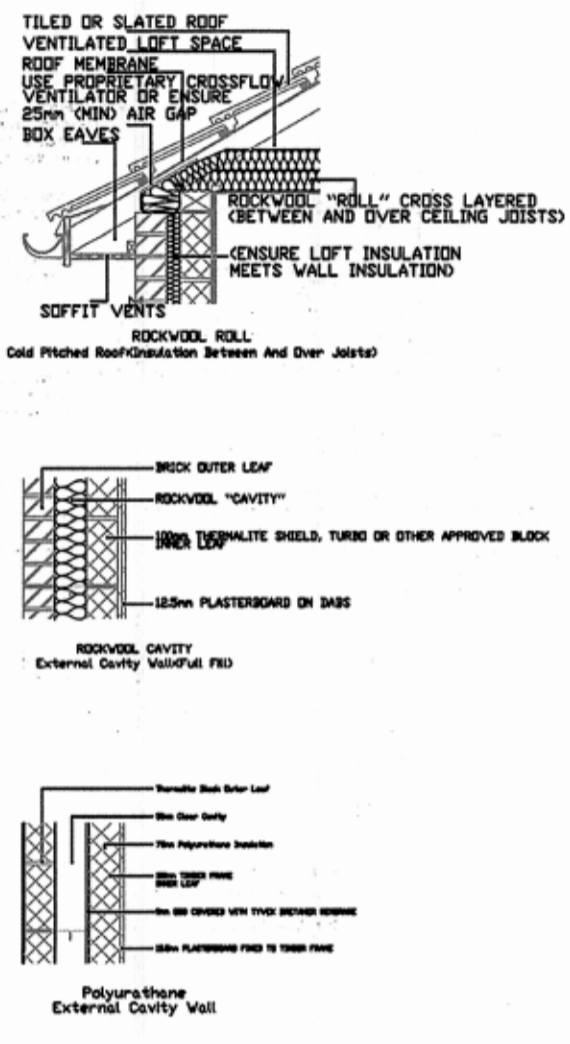
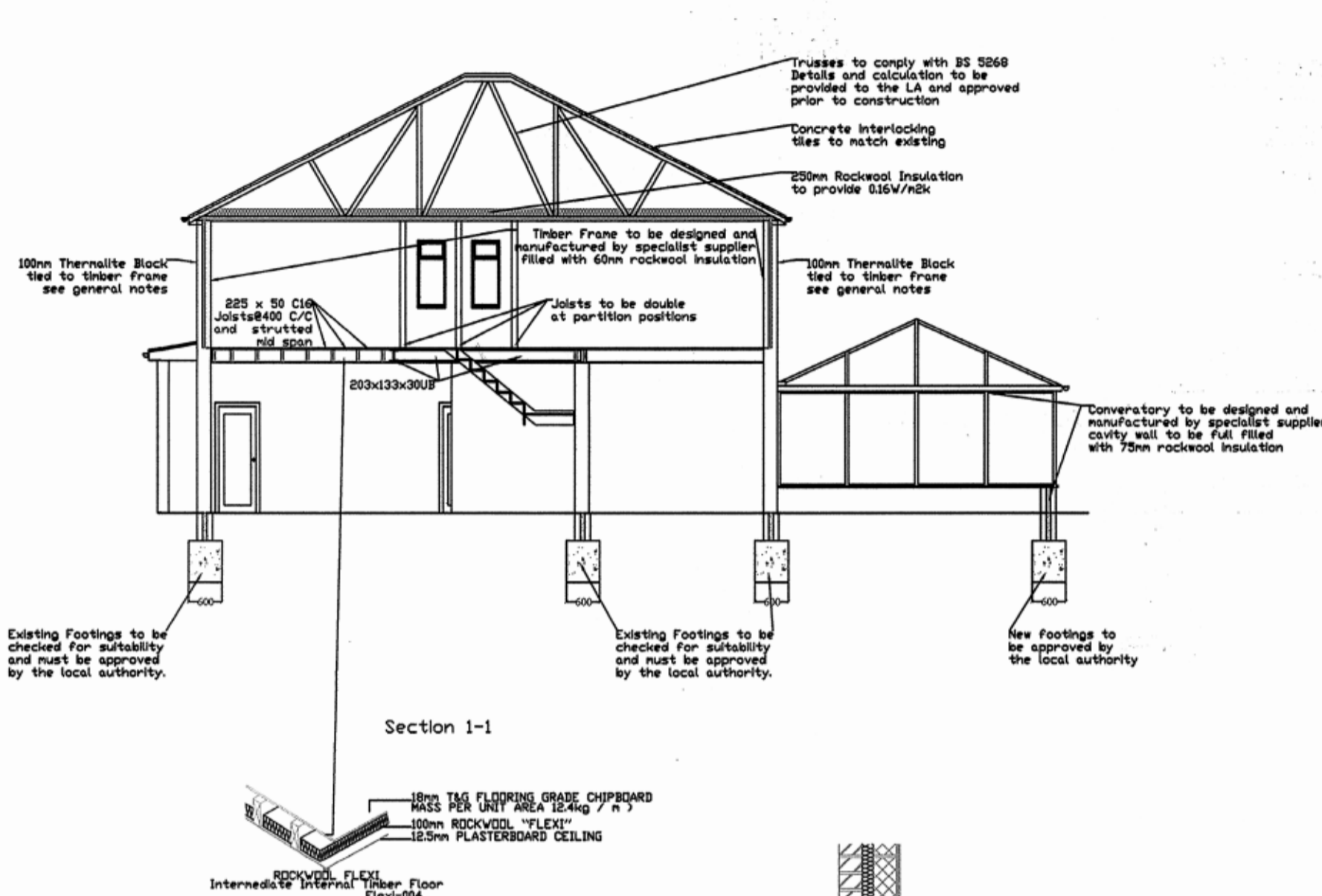
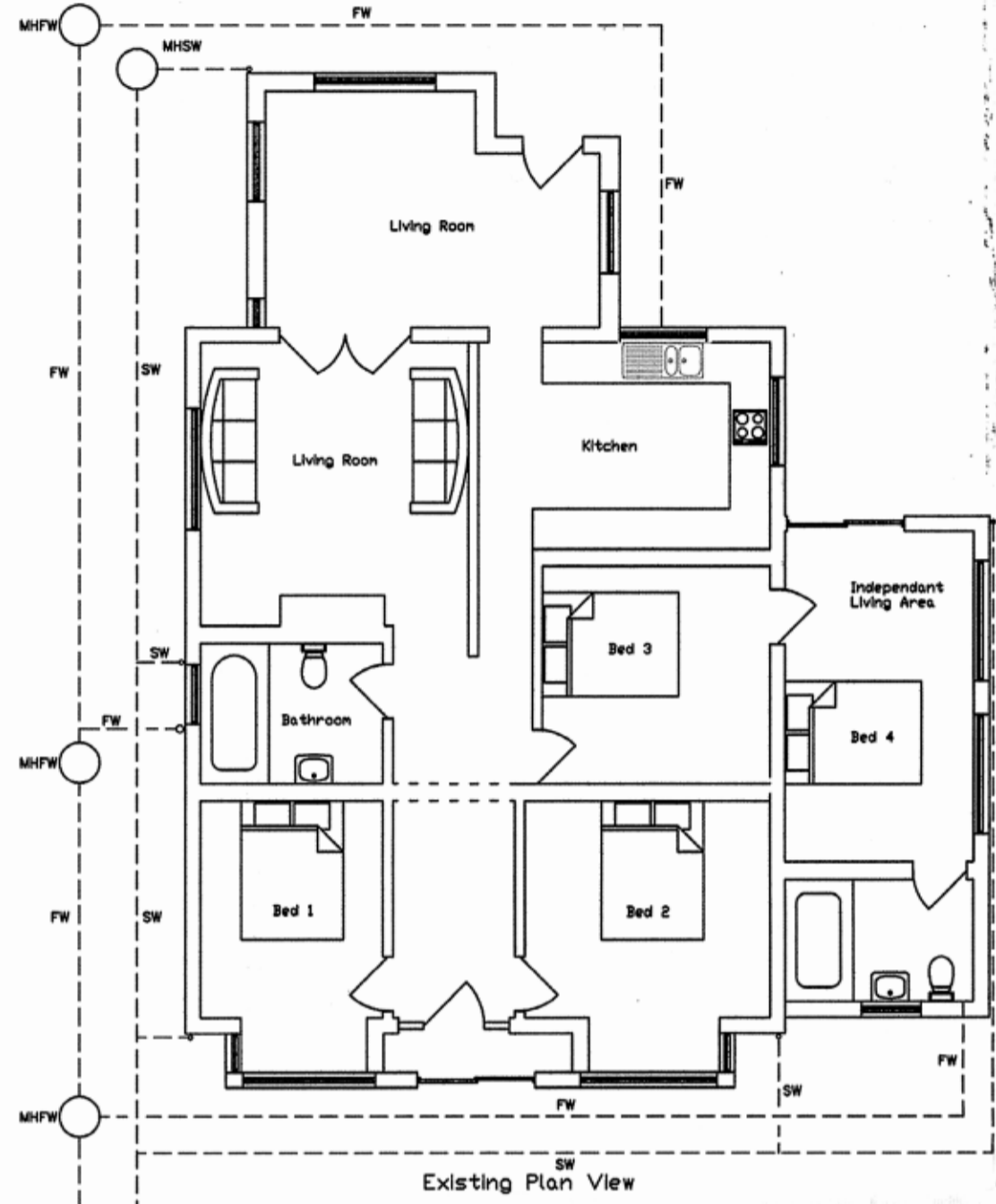


**GENERAL NOTES**

- Planning**  
External materials to match as far as reasonably possible those existing.
- Walls** matching render  
Roof matching interlocking concrete tiles  
Windows matching double glazed units to conform to part 00 of the building regulations
- Building Control**  
All works to be in accordance with current building regulations and to the satisfaction of the local authority building inspector and/or any other appointed inspector.
- Drainage** Dena or similar approved drainage products are to be used for all additional drainage requirements. Existing sump and foul water systems are to be used wherever possible.
- Foundations** 600mm wide, 200mm thick concrete strips (106) min depth 100mm below ground level to suitable sub-strata & below any adjacent drain inverts. Where ground conditions dictate, specialist foundations may apply.
- Calculations** All relevant structural calculations will be provided to the controlling body prior to commencement of construction.
- Walls** Above dpc - 100mm Thermalite block outer leaf, 50mm Full Fill cavity with Polyurethane insulation, 100mm Timber frame inner leaf. Wall ties at max 750mm horizontal & 450mm vertical at staggered centres.
- Lintels/Beams** Provide unless stated otherwise Catnic CG 30/100 or similar other approved lintels to ground floor windows and doors. All lintels to have a min 150mm load bearing.
- Windows/Doors** Provide matching double glazed units with low 'E' glazing to satisfy the requirements of class C BS 6202 approved document N glazing. Section 1 having a minimum 16mm air gap between panes with opening lights equal to at least 1/20 of the room floor area and secured with lockable stays and fitted with Window/Trickle vents with equivalent area (EA) 0.0002 for habitable rooms and (EA) 0.0002. All glazing within 700mm of finished floor level and to the side windows within 300mm of doors and in all doors up to 1500mm high to safety glazing. Emergency escape windows with a clear open area of at least 450mm horizontal and 450mm vertical, which provide a clear open area of at least 0.33m<sup>2</sup> are required to bedrooms 1, 2, 3, 4, 5 & 6 NB. One dimension must be larger than 450mm to achieve this area. The bottom of the open able area should be set between 800mm and 1100mm from finished floor level. All glazing to comply with approved document L1 and BS 6206:1981.
- Electrical** All electrical works to meet the requirements of part P (electrical safety) and must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the council should be satisfied that part P has been complied with. This may require a BS7671 electrical installation certificate to be issued for the work by a person competent to do so. 75% of light fittings will be energy efficient where fitted and should only be capable of only taking energy efficient bulbs. Suitable lighting and double sockets to be provided in all new and additional rooms. positions are to be agreed with client prior to any installation.
- Plumbing** All plumbing works to be in accordance to BS5572. Boiler will require a suitability check to ensure its capability to power all the additional radiators. All radiators to have thermostatically controlled valves fitted. Radiators are to be installed in all new and additional rooms with a rating suitable to conform to part 5 of the approved document. Gutters to be Morley Flowline 112/60 or similar approved.
- Fire** All elements of structure to be minimum 30 minute fire resistance. Mains operated interlinked smoke/heat detectors to be installed as indicated on drawings. All elements to conform to part 3 of the approved document.
- Services** Builder to inquire into correct statutory L A for the use of gas, electric and water services; to allow for re-sitting, enclosing or stopping of solid services. All existing services are to be identified and protected/note safe prior to any excavation work.
- U-Values** Thermal conductivity of walls to be restricted to a max of 0.28w/m<sup>2</sup>K. Thermal conductivity of flat roof to be restricted to a max of 0.18w/m<sup>2</sup>K. Floors to achieve 0.22w/m<sup>2</sup>K and new glazing to achieve 1.6w/m<sup>2</sup>K and new doors to achieve 1.0w/m<sup>2</sup>K.
- Restraint straps** Galvanized MS 32 x 25 x 600mm long holding down straps to wall plate and first floor sole plate at 1500mm. Galvanized MS 32 x 25 x 600mm long lateral restraints to be provided to first floor joists.
- Roof Ventilation** Provide roof ventilation to all roofs with insulation at ceiling level along the full length of eaves providing continuous ventilation equivalent to a 10mm opening.
- Timber** All structural timber to be SC3 / C16 grade unless stated otherwise and pressure treated with an approved preservative.
- Staircase** Staircase to conform to Approved Document K
- Rafters** Supplier to provide calculations for preformed rafters.
- Ceilings** 12.5mm plasterboard and finished with one coat plaster finish on timber joists of 225 x 50 insulated for sound by Rockwool Flexi.
- Plasterboard** Plasterboard to partition walls and ceilings to be 10kg/m<sup>2</sup>.
- Wall Plate** 75mm x 100mm treated timber.
- Roof Battens** 38mm x 25mm softwood tanalized battens laid on 1 layer of un-tear able roofing felt which is to conform to BS747
- Cavity** Cavity trays and DPC's to be built in walling over all air vents, air bricks, lintels, service boxes and anything that bridge the cavity. Weep holes to be placed every 3rd perp end. Horizontal 225mm damp proof course at all window sill cavities.
- Kitchen** Provide mechanical extractor capable of delivering at least 30l/s unless more than 300mm away from cooker then 60l/s will be required.
- Structural roof elements** Assume snow loading of 0.75kn/m<sup>2</sup>



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED

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27 Heron Court, Halewood, Liverpool, L26 7WX

Mr V. Gibson, Nevin Carson, Park Victoria Road West, Prestatyn, LL19 2AA	SIZE: A1	Job No: 0142	DWG NO: 03 Floor Plans & Section	REV: C
Construct additional storey to existing building with side extension and conservatory.	SCALE: 1:100(A)	STATUS: Submit	SHEET: 1 of 1	

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16 SEP 2011  
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